

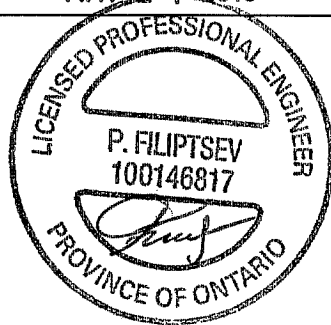
APPROVED FOR GRADING

I have reviewed the site and grading plan for the proposed building(s) to be constructed on Lot(s) 71 and hereby certify that:

1. The proposed grading and appurtenant drainage works comply with sound engineer principles.
2. The proposed grading is in conformity with the grading plan approved for the subdivision and will not adversely affect adjacent lands.
3. The proposed building is compatible with the proposed grading.

VALDOR ENGINEERING INC.

Date: MAY 21 2013



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Township of KING.

ARCHITECTURAL REVIEW & APPROVAL

MAY 24 2013

W. J. Williams Limited Architect

NOTES:

- 1) All dimensions and grade elevations are expressed in SI units.
- 2) The contractor shall check and verify all given grade elevations and drainage prior to commencement of construction.
- 3) Underside of footing shown is taken from architectural plans and may not represent actual footing depth.
- 4) Footings must bear on native, undisturbed soil or rock, and be a minimum of 1.22 m below finished grade.
- 5) Exterior cladding, thresholds, and window sills shall be a minimum of 150 mm above finished grade.
- 6) Driveways must be clear of light standards by a MIN of 1.5m and other above ground services or other obstructions (hydro transformers) bell pedestals, etc.) by a minimum of 3.0m no deflection in driveway alignments is permitted to achieve the clearance.
- 7) Any above ground utilities not meeting the above noted minimum clearances from proposed driveway are to be relocated at the applicants expense.
- 8) SWALES:
 - I) Swales providing internal drainage from each lot shall have a minimum slope of 2%.
 - II) Swales must be 1.0 m from lot line to higher property.
 - III) Minimum swale depth to be 250mm.
 - IV) Maximum swale side slope to be 3H/1V.
 - V) Maximum depth of rear yard swale to be 750 mm.
 - VI) Maximum depth of side yard swale to be 450 mm.
- 9) Eave downspouts must discharge onto splash-pads. Connections to weeping tiles or sewers are not permitted.
- 10) EMBANKMENTS:
 - I) Maximum 3H: 1V slope if < 1M high.
 - II) Maximum 4H: 1V slope if > 1M high.Terraces minimum 1.5m wide.
- 11) No healthy trees shall be removed without prior written approval of the Township Engineer.
- 12) All lot surfaces to be constructed with a minimum grade of 2.0 % and a maximum grade of 5.0 %.
- 13) Rainwater downspouts shall be directed away from the private sewage disposal system.

NOTES:

- Builder to verify storm and sanitary service lateral elevations prior to pouring footings
- Extend footings at front to ensure 1.25M cover (Min)
- Garage footings to extend to original ground or as directed by soils engineer.



This plan has been reviewed with respect to general conformance with the overall lot grading plan only and our approval on this plan is for no other purpose.

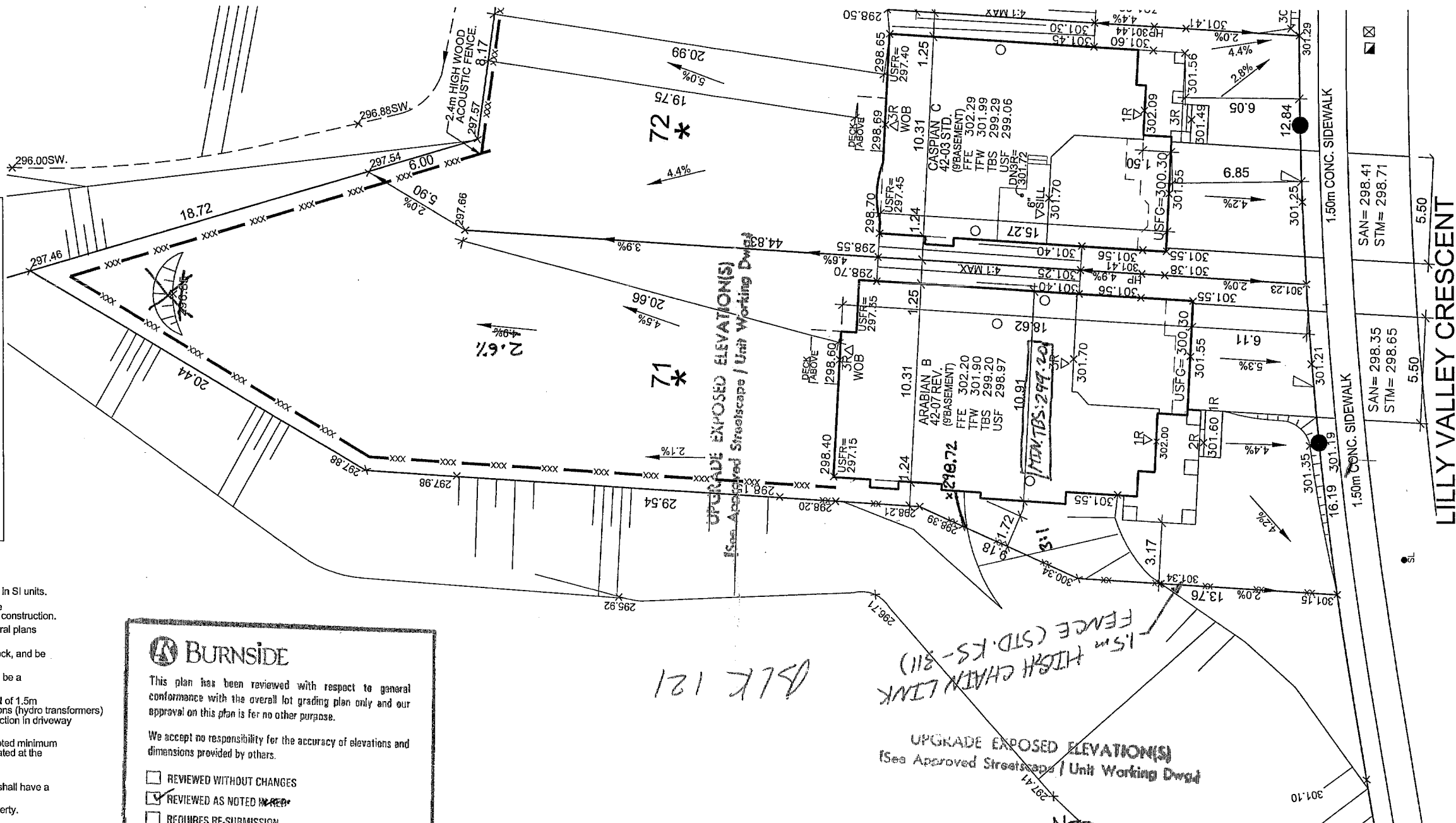
We accept no responsibility for the accuracy of elevations and dimensions provided by others.

- ☐ REVIEWED WITHOUT CHANGES
☒ REVIEWED AS NOTED ~~IN RED~~
☐ REQUIRES RE-SUBMISSION

Reviewed by [Signature] Date JUNE 6 2013
R. J. Burnside & Associates Limited

NOTES:

ALL STAIRS ACCESSING FRONT ENTRY TO BE POURED-IN-PLACE PER SEC. 4.4 FOUND IN KING NORTH / KING DUFFERIN / KINGSHIRE ESTATES.



NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

CLIENT

ZANCOR HOMES

PROJECT/LOCATION

KING'S RIDGE
KING CITY, ONTARIO (SOUTH)

DRAWING

SITE GRADING PLAN

BUILDING STATISTICS

| | |
|---------------------------|----------|
| REG. PLAN No. | 65M-4295 |
| ZONE | R4 |
| BLOCK NUMBER | N/A |
| LOT NUMBERS | 71 |
| LOT AREA(m) ² | N/A |
| BLDG AREA(m) ² | N/A |
| LOT COVERAGE(%) | N/A |
| No. OF STOREYS | 2 |
| MEAN HEIGHT(m) | 8.40 |
| PEAK HEIGHT(m) | N/A |

LEGEND

| | |
|-------------|--|
| FFE | FINISHED FLOOR ELEVATION |
| TFW | TOP OF FOUNDATION WALL |
| TBS | TOP OF BASEMENT SLAB |
| USF | UNDER SIDE FOOTING |
| USFR | UNDER SIDE FOOTING @ REAR |
| USFG | UNDER SIDE FOOTING @ GARAGE |
| TEF | TOP OF ENGINEERED FILL |
| R | NUMBER OF RISERS TO GRADE |
| WOD | WALKOUT DECK |
| LOB | LOOKOUT BASEMENT |
| WOB | WALK OUT BASEMENT |
| REV | REVERSE PLAN |
| STD | STANDARD PLAN |
| DOOR | DOOR |
| WINDOW | WINDOW |
| BELL | BELL PEDISTAL |
| CABLE | CABLE PEDISTAL |
| CATCH | CATCH BASIN |
| DBL. | DBL. CATCH BASIN |
| ENGINEERED | ENGINEERED FILL |
| HYDRO | HYDRO CONNECTION |
| FIRE | FIRE HYDRANT |
| STREET | STREET LIGHT |
| MAIL | MAIL BOX |
| TRANSFORMER | TRANSFORMER |
| WATER | WATER VALVE |
| WATER | WATER CONNECTION |
| SEWER | SEWER CONNECTIONS |
| SEWER | SEWER CONNECTIONS |
| 1 LOT | 1 LOT |
| AIR | AIR CONDITIONING |
| DOWN | DOWN SPOUT TO SPLASH PAD |
| SWALE | SWALE DIRECTION |
| CHAINLINK | CHAINLINK FENCE |
| PRIVACY | PRIVACY FENCE |
| SOUND | SOUND BARRIER |
| FOOTING | FOOTING TO BE EXTENDED TO 1.25 (MIN) BELOW GRADE |

ISSUED OR REVISION COMMENTS

| NO. | DESCRIPTION | DATE | DWN | CHK |
|-----|------------------------------|-----------|-----|-----|
| 1 | ISSUED FOR REVIEW (SITED) | MAY 07/12 | NC | NC |
| 2 | RE-ISSUED FOR REVIEW | JUN05/12 | NC | NC |
| 3 | ISSUED FOR REVIEW (RE-SITED) | MAR.19/13 | NC | NC |
| 4 | ISSUED FOR FINAL | MAY 09/13 | NC | NC |

I, NELSON CUNHA DECLARE THAT I HAVE REVIEWED AND TAKE DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LIMITED UNDER DIVISION C, PART 3, SUBSECTION 3.2.4. OF THE BUILDING CODE. I AM QUALIFIED, AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSES/CATEGORIES. QUALIFIED DESIGNER BCIN 21032

FIRM BCIN 26995
MAY 09, 2013
DATE SIGNATURE [Signature]

DRAWN BY
NC

SCALE
1:250

PROJECT No.
09011

LOT NUMBER
71



Imagine • Inspire • Create
TEL: (905) 738-3177
FAX: (905) 738-5449
DWG@RNDDESIGN.COM

NOTE: SANITARY SERVICE IS FLAT (<2.0% MIN.)
REVIEWED AS NOTED
ZONING BY-LAW 74-53 AS AMENDED
DATE: May 31/13
REF. APPL. No. 2013-337
BY: K.E. (CR4)
TOWNSHIP OF KING