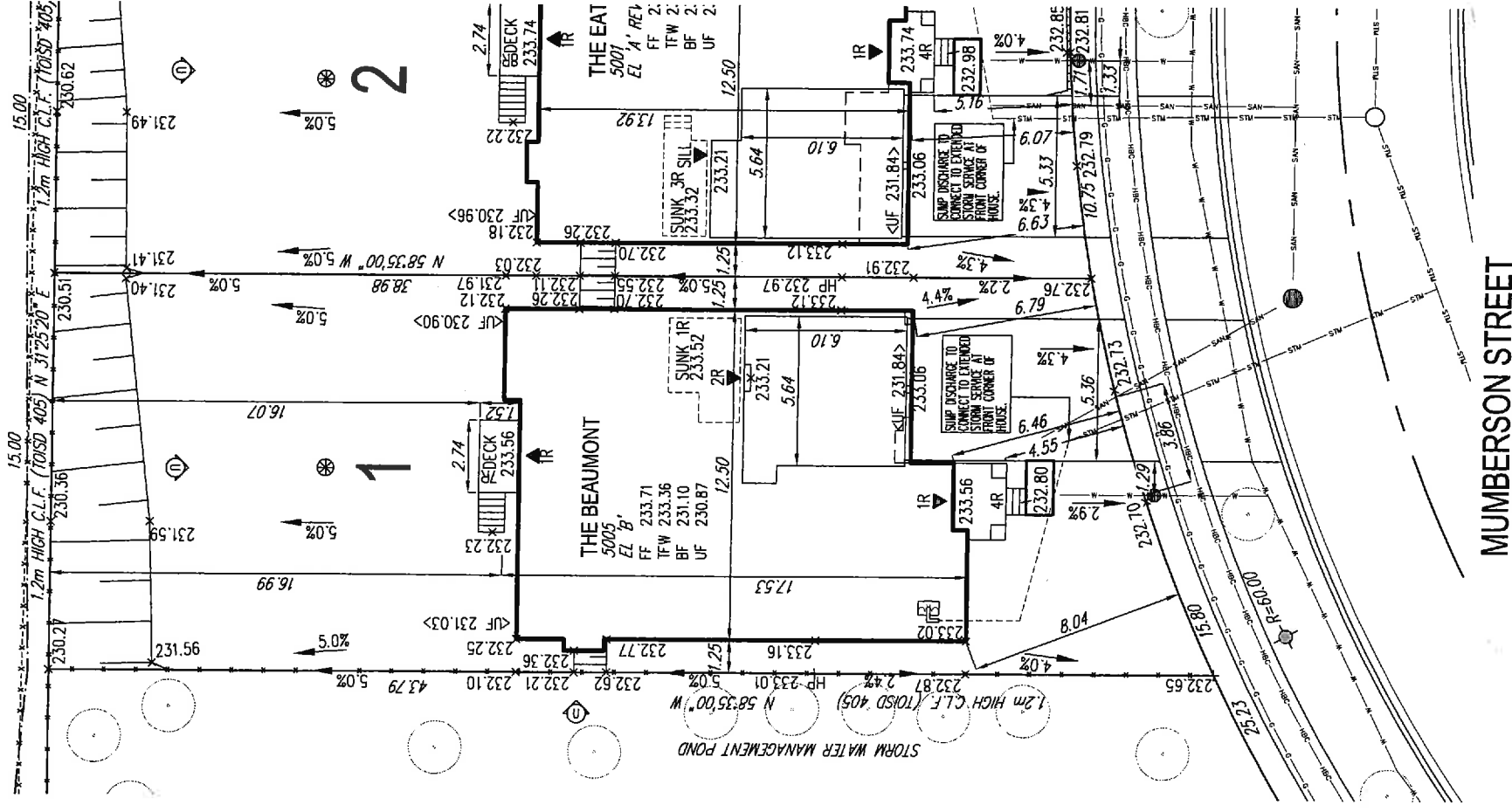


| ZONING INFORMATION              |              |           |
|---------------------------------|--------------|-----------|
| ZONE                            | PERMITTED    | PROVIDED  |
| RS-11                           |              |           |
| MIN. LOT AREA (sq. m)           | 480 sq. m    | 615 sq. m |
| MIN. LOT FRONTAGE (m)           | 12.0 m       | 15.75 m   |
| FRONT YARD SETBACK DWELLING (m) | 4.5 m        | 6.46 m    |
| FRONT YARD SETBACK GARAGE (m)   | 6.0 m        | 6.79 m    |
| INTERIOR SIDE YARD SETBACK (m)  | 1.2 m        | 1.25 m    |
| EXTERIOR SIDE YARD SETBACK (m)  | 3.0 m        | N/A       |
| REAR YARD SETBACK (m)           | 6.0 m        | 16.99 m   |
| MIN. GROSS FLOOR AREA (sq.m)    | N/A          | 357 sq.m  |
| MAX. LOT COVERAGE (%)           | 45 %         | 33 %      |
| MIN. LANDSCAPED OPEN SPACE (%)  | 50 %         | 63 %      |
| BUILDING HEIGHT (m)             | 9.00 TO MEAN | 8.81 m    |

UPGRADE EXPOSED ELEVATIONS  
(See Approved Streetscape/Unit Working dwgs.)



## MUMBERSON STREET

It is the builder's complete responsibility to ensure that all plans submitted for review fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for working drawings or site (lotting) plans or building code or permit matter or for any house can be properly built or located on its lot.

This is to certify, that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

ARCHITECTURAL REVIEW &amp; APPROVAL

NOV 13 2017  
John G. Williams Limited, Architect

|                                     |   |   |     |          |
|-------------------------------------|---|---|-----|----------|
| -                                   | - | - | CJO | 20171024 |
| -                                   | - | - | CJO | 20171004 |
| -                                   | - | - | -   | -        |
| -                                   | - | - | -   | -        |
| -                                   | - | - | -   | -        |
| REVISED AS PER ARCH. CONT. COMMENTS |   |   |     |          |
| REVISED AS PER ENGINEERS COMMENTS   |   |   |     |          |
| ISSUED FOR PRELIM. REVIEW           |   |   |     |          |
| -                                   | - | - | CJO | 20171024 |

THE PROPOSED LOT GRADING IS APPROVED AS BEING  
IN GENERAL CONFORMITY WITH THE OVERALL  
APPROVED GRADING PLAN FOR THIS SUBDIVISION.

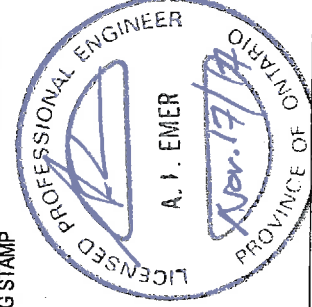
ZANCOR HOMES - 216043

Drawing Title  
54 MUMBERSON STREET  
LOT 1 PLAN - 51M  
COOKSTOWN, ON

| Drawn By | Checked By | Drawing No. |
|----------|------------|-------------|
|----------|------------|-------------|



P. ENG STAMP



TO BE STAMPED BY  
DEVELOPER'S ENGINEER

TO BE COMPLETED BY  
DEVELOPER'S ENGINEER

ELEVATIONS SHOWN ON THIS PLAN ARE RELATED TO GEODETIC DATUM AND ARE DERIVED FROM BENCH MARK No. \_\_\_\_\_ HAVING A PUBLISHED ELEVATION OF \_\_\_\_\_ METRES.



8966 Woodbine Avenue, Suite 200, Markham, ON  
T 905.737.5133 // F 905.737.7326

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

Dominic Moblio  
NAME  
REGISTRATION INFORMATION  
SIGNATURE  
21274  
BOIN  
10505  
HUNT DESIGN ASSOCIATES INC

GRADING &amp; DRAINAGE NOTES

1. MINIMUM GRADIENT OF GRASS SWALES ALONG SIDE AND REAR LOT LINES SHALL BE 2.0%. THE PROPOSED ELEVATION OF THE SIDE YARD SHALL BE A MINIMUM OF 0.15M BELOW THE FINISHED GRADE AT THE BUILDING LINE. THE MAXIMUM SWALE GRADIENT SHALL BE 5.0%.
2. TAKE UP REAR YARD GRADE DIFFERENCE USING SLOPES BETWEEN 2.0% AND 5.0% FOR A MAXIMUM OF 75% OF THE REAR YARD AND SLOPES OF 3 HORIZONTAL AND 1 VERTICAL MAXIMUM TO THE REAR LOT LINE.
3. EDGE OF THE DRIVEWAYS ARE A MINIMUM OF 1.0m FROM EDGE OF STREET CATCH BASIN AND STREET FURNITURE. THE BUILDER IS TO VERIFY THE LOCATION AND TO INFORM THE ENGINEER IF THE DIMENSION SHOWN CAN BE MAINTAINED PRIOR TO EXCAVATION FOR THE FOOTINGS.
4. BRICK LINE SHALL BE 0.15m ABOVE SOD ELEVATION.
5. ALL NEW FENCES REQUIRED ABOUTING PUBLIC LANDS AND OR EXISTING PROPERTIES SHALL BE CONSTRUCTED WITH MATERIAL INCLUDING FOUNDATIONS COMPLETELY ON PRIVATE LANDS AND TOTALLY CLEAR OF ANY 0.3m RESERVES.
6. SOIL CONSULTANTS VERIFICATION REQUIRED FOR FOOTINGS CONSTRUCTED ON ENGINEERED FILL LOTS.
7. THE BUILDER MUST VERIFY THE AS CONSTRUCTED ON SANITARY AND STORM SERVICES INVERTS AND INFORM THE ENGINEER IF THE MINIMUM 2.0% GRADE CANNOT BE MAINTAINED PRIOR TO LAYING OF CONCRETE FOOTING.
8. BUILDER TO VERIFY LOCATION ALL THYRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MINIMUM DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.
9. BUILDER TO STAKE OUT DRIVEWAY CURB DEPRESSION AT TIME OF TOP CURB INSTALLATION.
10. THE PROPOSED GRADING AND APPURTENANT DRAINAGE WORKS COMPLY WITH SOUND ENGINEERING PRINCIPALS.
11. THE PROPOSED GRADING IS IN CONFORMITY WITH THE GRADING PLANS APPROVED FOR THIS SUBDIVISION AND WILL NOT ADVERSELY AFFECT ADJACENT LANDS.
12. THE PROPOSED BUILDING IS COMPATIBLE WITH THE PROPOSED GRADING.
13. THE BUILDER IS RESPONSIBLE FOR RELOCATION OF ALL UTILITIES ON THE SITE, WHICH ARE NOT 1.0 METERS CLEAR FROM EDGE OF DRIVEWAY, INCLUDING STREET CATCH BASIN.

14. APPROVED PERMIT DRAWINGS AND CONSTRUCTION NOTES MUST BE REVIEWED AND FOLLOWED IN CONJUNCTION WITH THE SITING AND GRADING PLAN, BUILDER TO VERIFY BUILDING ENVELOPE, ON SITE PLAN MATCHES APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES PRIOR TO POURING CONCRETE. IF THERE ARE ANY DISCREPANCIES, THEY ARE TO BE BROUGHT TO THE ATTENTION OF HUNT DESIGN ASSOCIATES INC.

15. UNLESS NOTED ON BUILDING ENVELOPE OR APPROVED PERMIT DRAWINGS AND CONSTRUCTION NOTES, ALL TOP OF FOUNDATION WALLS, INCLUDING GARAGE WALLS ARE TO BE CONSISTENT WITH THE ELEVATION PROVIDED FOR THE F.W. ON STRING AND GRADING PLAN. THE EXTERIOR OF THE FOUNDATION WALL TO BE PROVIDED WITH A REDUCTION IN THICKNESS FOR MASONRY VENEER AS REQUIRED.

THE BUILDER / APPLICANT AGREES THAT BY REQUESTING THIS LOT GRADING CERTIFICATION BEFORE THE AVAILABILITY OF INVERT CONNECTION, THE BUILDER / APPLICANT ASSUMES ALL RESPONSIBILITIES, OR ANY POTENTIAL COMPLICATIONS DUE TO THE ULTIMATE SEWER CONNECTION ELEVATIONS AT THE STREET LINE.