

ZONING INFORMATION		
ZONE	PERMITTED	PROVIDED
RS-11		
MIN. LOT AREA (sq.m)	480 sq.m	579 sq.m
MIN. LOT FRONTAGE (m)	12.0 m	18.02 m
FRONT YARD SETBACK DWELLING (m)	4.5 m	6.09 m
FRONT YARD SETBACK GARAGE (m)	6.0 m	6.05 m
INTERIOR SIDE YARD SETBACK (m)	1.2 m	1.25 m
EXTERIOR SIDE YARD SETBACK (m)	3.0 m	N/A
REAR YARD SETBACK (m)	6.0 m	9.46 m
MIN. GROSS FLOOR AREA (sq.m)	N/A	325 sq.m
MAX. LOT COVERAGE (%)	45 %	36%
MIN. LANDSCAPED OPEN SPACE (%)	50 %	65%
BUILDING HEIGHT (m)	9.00 TO MEAN	8.68 m

STRUCTURE			
MODEL NO.			5003 'B'
HOUSE STYLE (I.E BUNGALOW, MAN, COURT ETC)			2 STOREY
ADJACENT MODEL	EAST		-
	WEST		-
	NORTH		-
	SOUTH		-
FIREBREAK LOT			NO

SERVICING CHECK BOX			
SERVICES	YES/NO	DEPTH @ pL	INVERT @ pL
WATER	YES	1.70	231.24
SANITARY	NO	2.56	230.40
STORM	NO	1.66	231.31

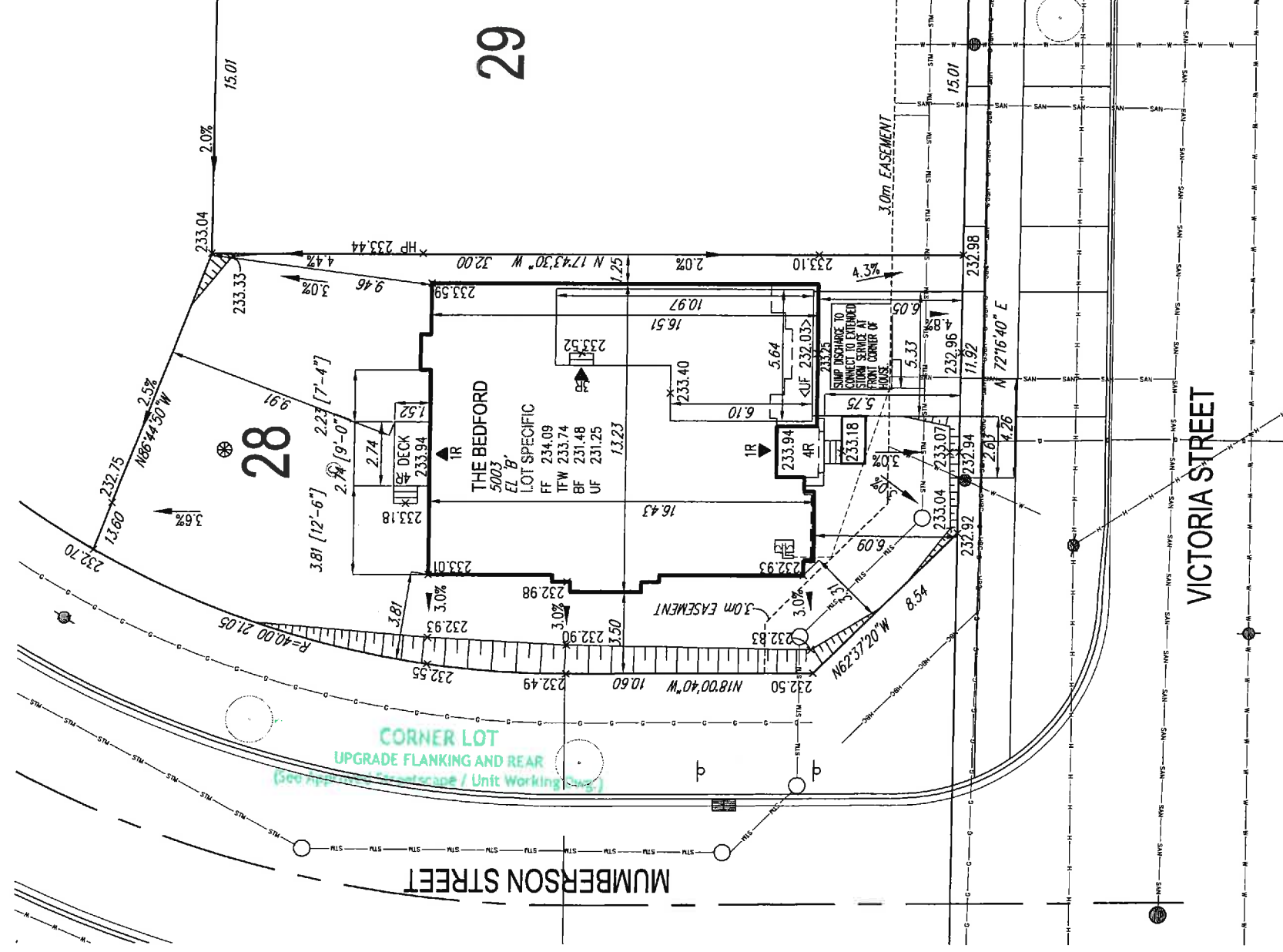
LEGEND:

	ENGINEERED ELLIOTS
— SAN —	SANITARY LINE

	STORM WATER LINE		43 MINUTE FIRE RATED WALL
	WATER LINE		SIDEYARD DISTANCE IS LESS THAN 10 FEET TO THE LINE (NO WINDOWS PERMITTED)
	HYDRO BELL CABLE LINE		WINDOWS PERMITTED
	GAS		UPGRADE ELEVATION
	100' MIN. TO ADJACENT LOT		CHAIN LINK FENCE
			FENCE AND GATE
			PRIVACY FENCE
			ACOUSTIC FENCE
			FF
			T/FW TOP OF FOUNDATION WALL
			BF BASEMENT FLOOR
			UF UNDERSIDE OF FOOTING
			WOD WALKOUT DECK
			WOB WALKOUT BASEMENT
			MOD MODIFIED
			REV REVERSED

GRADING & DRAINAGE NOTES

1. MINIMUM GRADIENT OF GRASS SWALES ALONG SIDE AND REAR LOT LINES SHALL BE 2.0%. THE PROPOSED ELEVATION OF THE SIDE YARD SHALL BE A MINIMUM OF 0.15m BELOW THE FINISHED GRADE AT THE BUILDING LINE. THE MAXIMUM SWALE GRADIENT SHALL BE 5.0%.
2. TAKE UP REAR YARD GRADE DIFFERENCE USING SLOPES BETWEEN 2.0% AND 5.0% FOR A MAXIMUM OF 75% OF THE REAR YARD AND SLOPES OF 3 HORIZONTAL AND 1 VERTICAL MAXIMUM TO THE REAR LOT LINE.
3. EDGE OF THE DRIVEWAYS ARE A MINIMUM OF 1.0m FROM EDGE OF STREET CATCH BASIN AND STREET FURNITURE. THE BUILDER IS TO VERIFY THE LOCATION AND TO INFORM THE ENGINEER IF THE DIMENSION CANNOT BE MAINTAINED PRIOR TO EXCAVATION FOR THE FOOTINGS.
4. BRICK LINE SHALL BE 0.15m ABOVE SOD ELEVATION.
5. ALL NEW FENCES REQUIRED ABUTTING PUBLIC LANDS AND OR EXISTING PROPERTIES SHALL BE CONSTRUCTED WITH MATERIAL INCLUDING FOUNDATIONS COMPLETELY ON PRIVATE LANDS AND TOTALLY CLEAR OF ANY 0.3m RESERVES.
6. SOIL CONSULTANTS VERIFICATION REQUIRED FOR FOOTINGS CONSTRUCTED ON ENGINEERED FILL LOTS.
7. THE BUILDER MUST VERIFY THE AS CONSTRUCTED ON SANITARY AND STORM SERVICES INVERTS AND INFORM THE ENGINEER IF THE MINIMUM 2.0% GRADE CANNOT BE MAINTAINED PRIOR TO PLACING OF CONCRETE FOOTING.
8. BUILDER TO VERIFY LOCATION ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MINIMUM DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.
9. BUILDER TO STAKE OUT DRIVEWAY CURB DEPRESSION AT TIME OF TOP CURB INSTALLATION.
10. THE PROPOSED GRADING AND APPURTENANT DRAINAGE WORKS COMPLY WITH SOUND ENGINEERING PRINCIPALS.
11. THE PROPOSED GRADING IS IN CONFORMITY WITH THE GRADING PLANS APPROVED FOR THIS SUBDIVISION AND WILL NOT ADVERSELY AFFECT ADJACENT LANDS.
12. THE PROPOSED BUILDING IS COMPATIBLE WITH THE PROPOSED GRADING.
13. THE BUILDER IS RESPONSIBLE FOR RELOCATION OF ALL UTILITIES ON THE SITE, WHICH ARE NOT 1.0 METERS CLEAR FROM EDGE OF DRIVEWAY, INCLUDING STREET CATCH BASIN.
14. APPROVED PERMIT DRAWINGS AND CONSTRUCTION NOTES MUST BE REVIEWED AND FOLLOWED IN CONJUNCTION WITH THE SITING AND GRADING PLAN. BUILDER TO VERIFY BUILDING ENVELOPE ON SITE PLAN MATCHES APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES PRIOR TO POURING CONCRETE. IF THERE ARE ANY DISCREPANCIES, THEY ARE TO BE BROUGHT TO THE ATTENTION OF HUNT DESIGN ASSOCIATES INC.
15. UNLESS NOTED ON BUILDING ENVELOPE OR APPROVED PERMIT DRAWINGS AND CONSTRUCTION NOTES, ALL TOP OF FOUNDATION WALLS, INCLUDING GARAGE WALLS ARE TO BE CONSISTENT WITH THE ELEVATION PROVIDED FOR THE TYP ON SITING AND GRADING PLAN. THE EXTERIOR OF THE FOUNDATION WALL TO BE PROVIDED WITH A REDUCTION IN THICKNESS FOR MASONRY VENEER AS REQUIRED.
- THE BUILDER / APPLICANT AGREES THAT BY REQUESTING THIS LOT GRADING CERTIFICATION BEFORE THE AVAILABILITY OF INVERT CONNECTION, THE BUILDER / APPLICANT ASSUMES ALL RESPONSIBILITIES, OR ANY POTENTIAL COMPLIANCE DUE TO THE ULTIMATE SEWER CONNECTION ELEVATIONS AT THE STREET LINE.



**ROOF LEADERS ARE NOT TO BE CONNECTED TO STORM
SEWAGES**

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFILL.

ARCHITECTURAL REVIEW & APPROVAL

John G. Williams *Director, Architect*

P. ENG STAMP

BENCHMARK

ELEVATIONS SHOWN ON THIS PLAN ARE RELATED TO GEODETIC DATUM AND ARE DERIVED FROM BENCH MARK No. _____ HAVING A PUBLISHED ELEVATION OF _____ METRES.



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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

NAME  SIGNATURE 21274 BCIN

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC. 19695

THE PROPOSED LOT GRADING IS APPROVED AS BEING IN GENERAL CONFORMITY WITH THE OVERALL APPROVED GRADING PLAN FOR THIS SUBDIVISION.

COMPANY NAME:

APPROVED BY:

SIGNATURE:

DATE: _____

TO BE STAMPED BY
DEVELOPER'S ENGINEER

TO BE COMPLETED BY
DESIGNER OR OWNER'S ENGINEER

ZANCOR HOMES - 216043

Drawing Title
42 VICTORIA STREET
LOT 28 PLAN - 51
COOKSTOWN, ON

Drawn By CLO	Checked By DM
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Date	2017.08.21
Scale	1:250

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