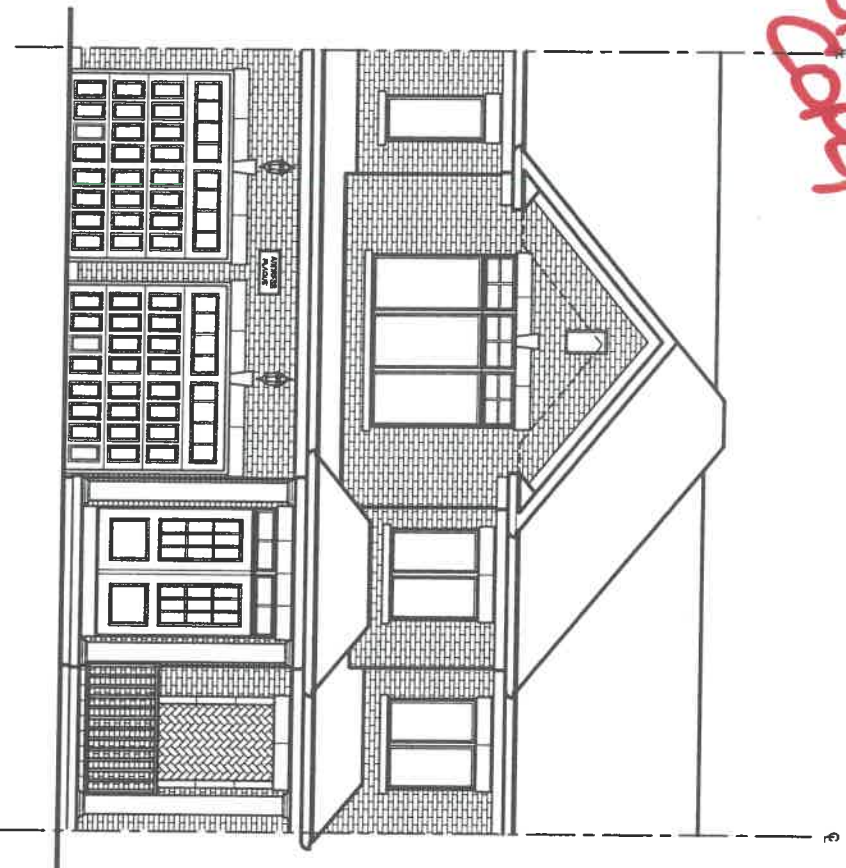


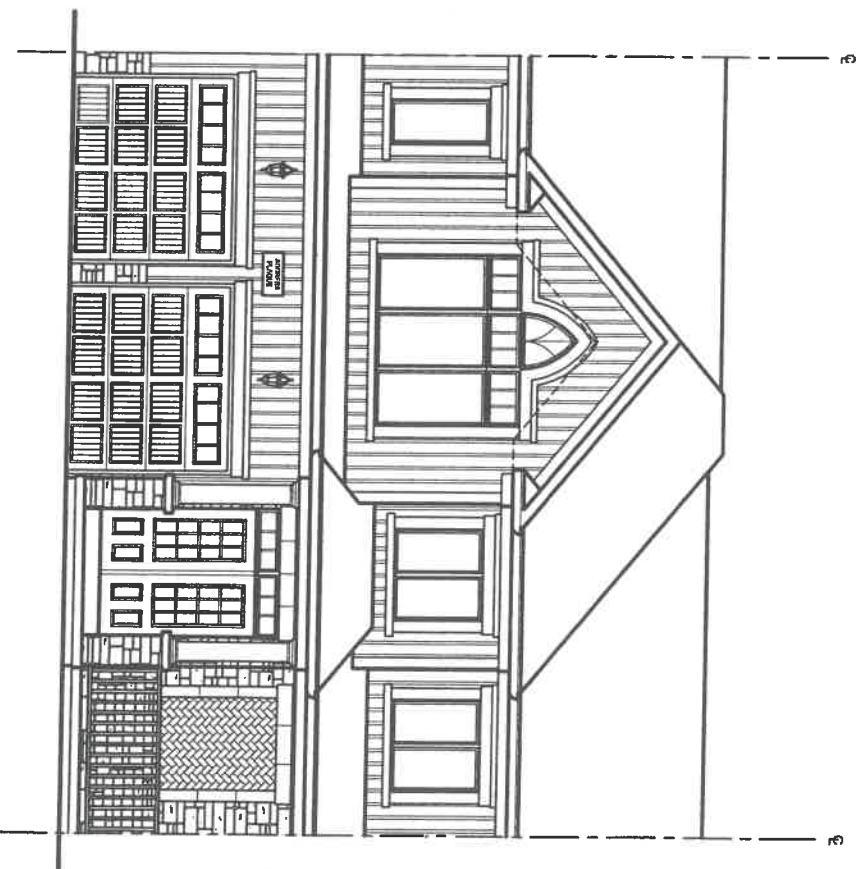
3pc

134-2 Elev A.

STEEL
CLAD



FRONT ELEVATION 'A'



FRONT ELEVATION 'B'

Drawing List:

TH-3

- A0 TITLE SHEET
- A1 BASEMENT FLOOR ELEV. 'A' & 'B'
- A2 GROUND FLOOR ELEV. 'A'
- A3 SECOND FLOOR ELEV. 'A'
- A4 PARTIAL SECOND FLOOR ELEV 'B'
- A5 PARTIAL GROUND FLOOR ELEV 'B'
- A6 FRONT ELEVATION 'A'
- A7 REAR ELEVATION 'A' & 'B'
- A8 FRONT ELEVATION 'B'
- A9 PARTIAL BASEMENT FLOOR LOB CONDITION ELEV. 'A' & 'B'
- A10 PARTIAL GROUND FLOOR LOB CONDITION ELEV. 'A' & 'B'
- D1 REAR ELEVATION 'A' & 'B' LOB CONDITION
- D2 CONSTRUCTION NOTES
- D3 CONSTRUCTION NOTES
- D4-D11 CONSTRUCTION DETAILS

Areas:

	ELEVATION 'A'		ELEVATION 'B'	
	SF	SM	SF	SM
GROUND FLOOR	756.8	70.3	756.8	70.3
SECOND FLOOR	1093.0	101.5	1087.3	101.0
SECOND FLOOR OTB	(29.9)	(2.8)	(29.9)	(2.8)
TOTAL AREA	1819.9	169.1	1814.2	168.5
COVERAGE INC PORCH	1237.2	114.9	1237.2	114.9
COVERAGE NOT INC PORCH	1151.8	107.0	1151.5	107.0

ALL ELECTRICAL WIRING MUST BE INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY. SEPARATE INSPECTION APPLICATIONS (PERMITS) MUST BE FILED. WE RECOMMEND YOU USE A QUALIFIED ELECTRICAL CONTRACTOR. FOR MORE INFORMATION PLEASE CALL:



1-877-ESA-SAFE
OR VISIT
WWW.ESA-SAFE.COM

Zancor Homes
Wasaga Townhomes

A copy of the building permit and reviewed permit drawings and documents must be made available on site for use by the various Inspectors assigned to your project.

Any proposed changes to the reviewed permit drawings or documents must be approved by the Building Department prior to making the changes.

APPLICANT'S COPY

TOWN OF WASAGA BEACH
BUILDING & PLUMBING DEPT.

Reviewed By *[Signature]*
FOR THE CHIEF BUILDING OFFICIAL
MUST COMPLY WITH ONTARIO BUILDING CODE

DATE *Aug 15/17*

BUILDING PERMIT # _____

I, NELSON CUMHA DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF FN DESIGN LTD./UNDER DIVISION C/PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 21032
FIRM BCIN: 26995
DATE: July 13, 2017

SIGNATURE: *[Signature]*

client
Zancor Homes
Project
Wasaga Townhomes

location
Wasaga Beach
marketing name

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	12/04/17	SP	NC	5	ISSUED FOR FINAL	2017/07/13	HAZ	NC
2	REVISED PER CLIENT COMMENTS	2017/06/16	SP	NC					
3	REVISED PER FLOOR/TRUSS COORD	2017/07/06	HAZ	NC					
4	REVISED AS PER ENG COMMENTS	2017/07/13	HAZ	NC					

FN design
Imagine • Inspire • Create

model
TH-3

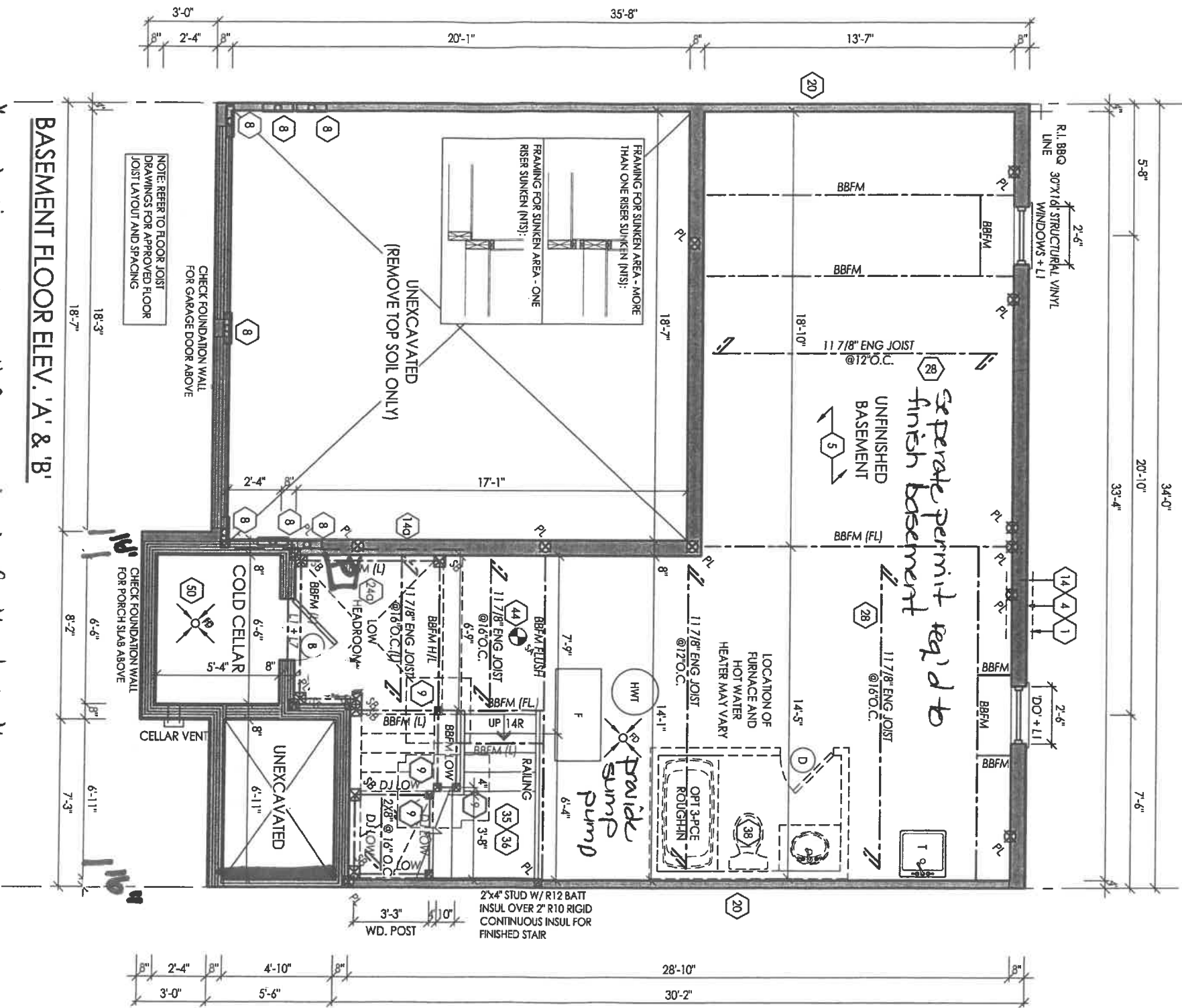
scale
3/16" = 1'0"

project #
16058

page

A0

Refer to floor design for joist/beam sizes, spacing
and direction



*waterline to be 3/4" from main to farthest bathroom group



I, NELSON CUNHA DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF AN DESIGN LTD UNDER DIVISION C PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE, I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN:
FIRM BCIN:
DATE:

21032
26995
JULY 13, 2017

SIGNATURE:

[Signature]

Client				Location			
Zancor Homes				Wasaga Beach			
Project				Marketing name			
Wasaga Townhomes							
#	Revisions	date	chn	#	Revisions	date	chn
1	ISSUED FOR CLIENT REVIEW	17/04/17	SP	NC	5	ISSUED FOR FINAL	
2	REVISED PER CLIENT COMMENTS	2017/06/16	SP	NC			
3	REVISED PER FLOOR/PLUMB COORD	2017/07/06	HAZ	NC			
4	REVISED AS PER ENG COMMENTS	2017/07/13	HAZ	NC			

PN design
Imagine - Inspire - Create



model
TH-3
scale
3/16" = 1'0"
page
project #
16058

A1



I, NELSON CUNHA DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF PN DESIGN LTD UNDER DIVISION C PART 3 SUBSECTION 4.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 21032
FIRM BCIN: 26995
DATE: July 13, 2017

SIGNATURE:

REMOVED BY
FOR THE LOCAL BUILDING DEPT.
MOST COMPATIBLE WITH ONTARIO BUILDING CODE
DATE Aug 15/17
BUILDING PERMIT #

Client

Zancor Homes

project
Wasaga Townhomes

location
Wasaga Beach

marketing name

#	revisions	date	dwg	chk	#	revisions	date	dwg	chk
1	ISSUED FOR CLIENT REVIEW	12/04/17	SP	NC	5	ISSUED FOR FINAL	20/07/18	H&Z	NC
2	REVISED PER CLIENT COMMENTS	20/07/16	SP	NC					
3	REVISED PER FLOOR/TRUSS COORD	20/07/06	H&Z	NC					
4	REVISED AS PER ENG COMMENTS	20/07/18	H&Z	NC					

PN design
Imagine • Inspire • Create

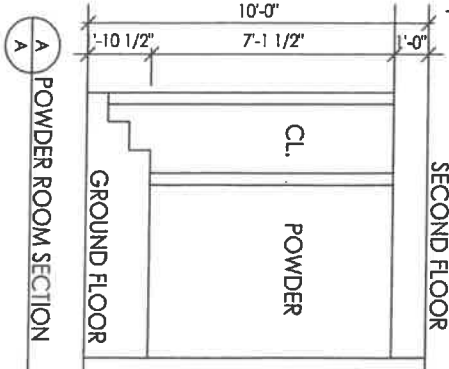
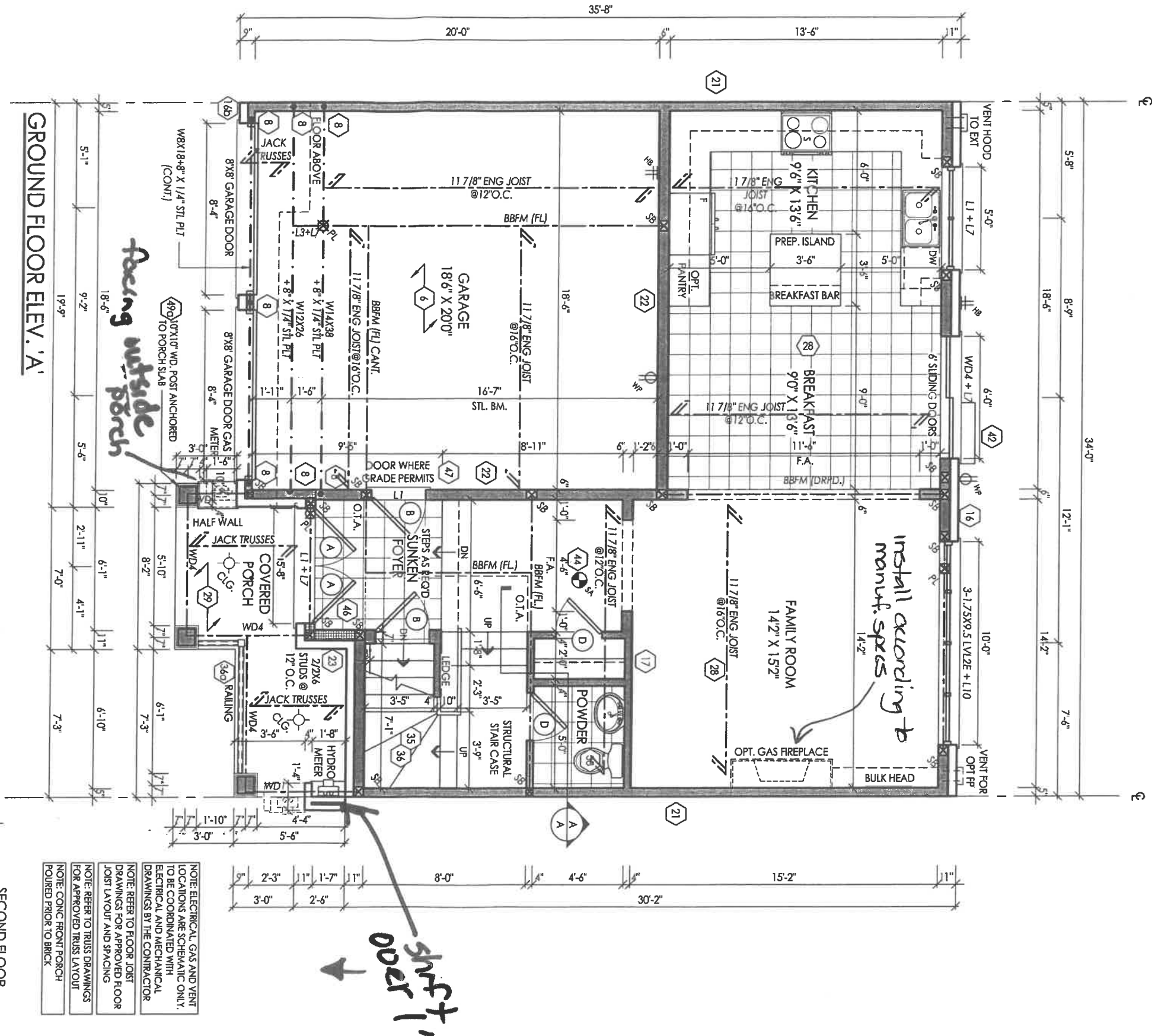
model
TH-3

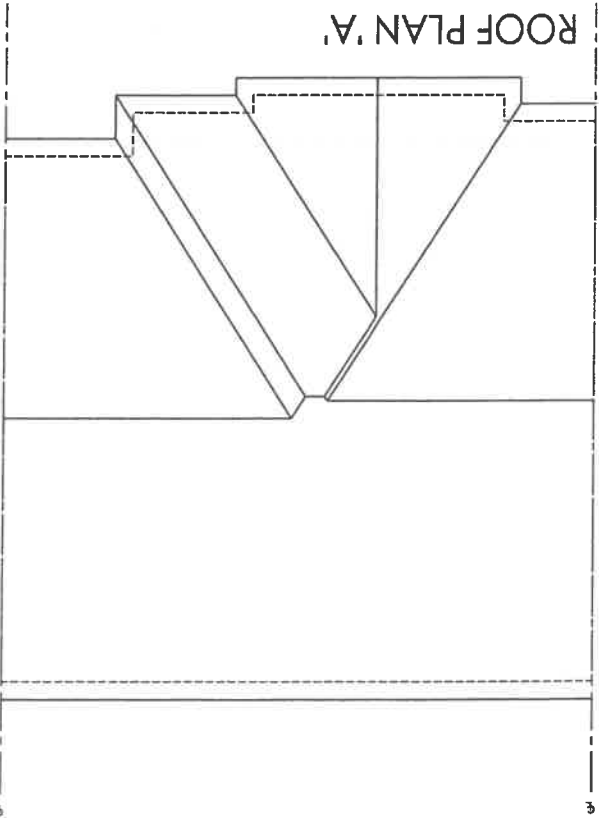
scale
3/16" = 1'0"

project #
16058

page

A2





NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" OC WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER. AT EACH CROSS POINT, POSTS LONGER THAN 6' TO BE LATERALLY BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT.

NOTE: REFER TO STREET-SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS.

12'x22' PRECAST CONC. DETAIL (TYP.)
CATHEDRAL CEILING BEYOND (10:12 SLOPE)
TOP OF PLATE
1"x6" DECOR FRIEZE BOARD (TYP.)
PRECAST CONC. HEADER (TYP.)

PRECAST CONC. SILL (TYP.)
SECOND FLOOR
U/S OF GARAGE / PORCH SOFFIT
W/ CENTER KEYSTONE
9'-1"

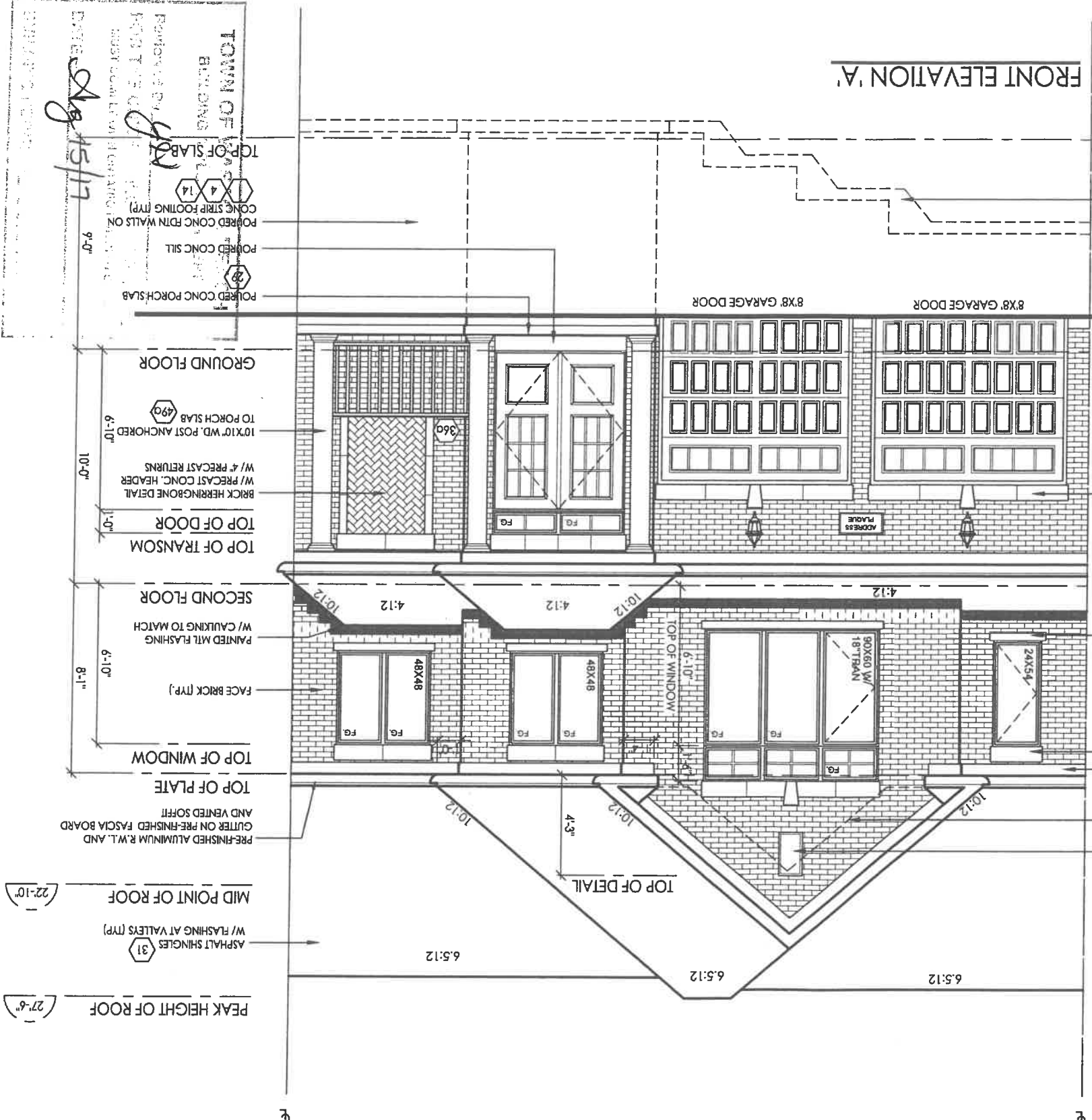
FIN. GRADE
GROUND FLOOR
U/S OF FOOTING
4'-0"

3 STEPPED FOOTING (TYP.)

FRONT ELEVATION 'A'

GROSS GLAZING AREA - EL. 'A'	
TOTAL PERIPHERAL WALL AREA	2621.43 SF
FRONT GLAZING AREA	89.75 SF
LEFT SIDE GLAZING AREA	0.00 SF
RIGHT SIDE GLAZING AREA	0.00 SF
REAR GLAZING AREA	191.55 SF
TOTAL GLAZING AREA	281.30 SF
TOTAL GLAZING PERCENTAGE	10.73 %

GROSS GLAZING AREA - EL. 'A' L.O.B.	
TOTAL PERIPHERAL WALL AREA	2791.12 SF
FRONT GLAZING AREA	89.75 SF
LEFT SIDE GLAZING AREA	0.00 SF
RIGHT SIDE GLAZING AREA	0.00 SF
REAR GLAZING AREA	222.39 SF
TOTAL GLAZING AREA	312.14 SF
TOTAL GLAZING PERCENTAGE	11.18 %



PEAK HEIGHT OF ROOF (27'-6")
W/ FLASHING AT VALLEYS (TYP.)
MID POINT OF ROOF (22'-10")
ASPHALT SHINGLES (31)

PRE-FINISHED ALUMINUM R.W.L. AND GUTTER ON PRE-FINISHED FASCIA BOARD AND VENTED SOFFIT
TOP OF PLATE
FACE BRICK (TYP.)
PAINTED MET. FLASHING
W/ CAULKING TO MATCH
SECOND FLOOR
TOP OF TRANSOM
TOP OF DOOR
BRICK HERRINGBONE DETAIL
W/ PRECAST CONC. HEADER
W/ 4" PRECAST RETURNS
10'-0"

10'-0" WD. POST ANCHORED TO PORCH SLAB
TO PORCH SLAB (49)
GROUND FLOOR
POURED CONC. PORCH SLAB
POURED CONC. SILL
POURED CONC. FDN WALLS ON CONC. STRIP FOOTING (TYP.)
TOP OF SLAB
TOWN OF BURLINGTON

21032
26995
July 13, 2017

I, NELSON CUNHA, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN:
FIRM BCIN:
DATE:

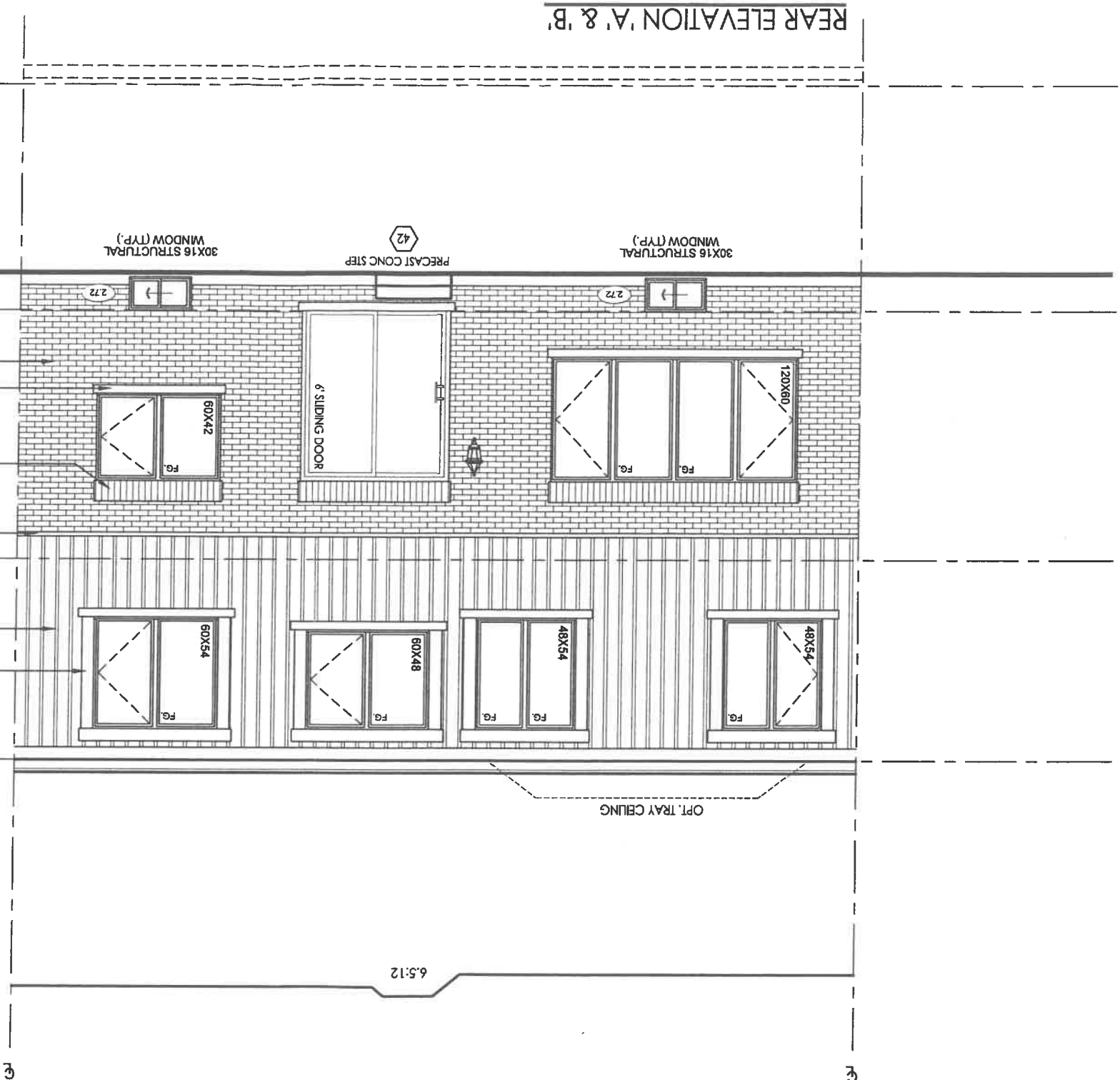
SIGNATURE:

client				location			
Zancor Homes				Wasaga Beach			
project				marketing name			
Wasaga Townhomes							
#	revisions	date	own	chk	#	revisions	date
1	ISSUED FOR CLIENT REVIEW	12/04/17	SP	NC			
2	REVISED PER CLIENT COMMENTS	2017/04/16	SP	NC			
4	REVISED AS PER ENG COMMENTS	2017/07/13	HAZ	NC			
5	ISSUED FOR FINAL	2017/07/13	HAZ	NC			



model
TH-3
scale
3/16" = 1'0"
project #
16058
page

A5



Reviewed by *[Signature]*
FOR THE CITY OF SALT LAKE COUNTY
MUST COMPLY WITH CHINA O. BUILDING CODE
DATE *Aug 15/17*
BUILDING PERMIT #

I, NELSON CUNHA, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 21032
FIRM BCIN: 26995
DATE: July 13, 2017
SIGNATURE: *[Signature]*

client					location				
Zancor Homes					Wasaga Beach				
project					marketing name				
Wasaga Townhomes									
#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
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4	REVISED AS PER ENG COMMENTS	2017/07/19	HAZ	NC					
5	ISSUED FOR FINAL	2017/07/19	HAZ	NC					

