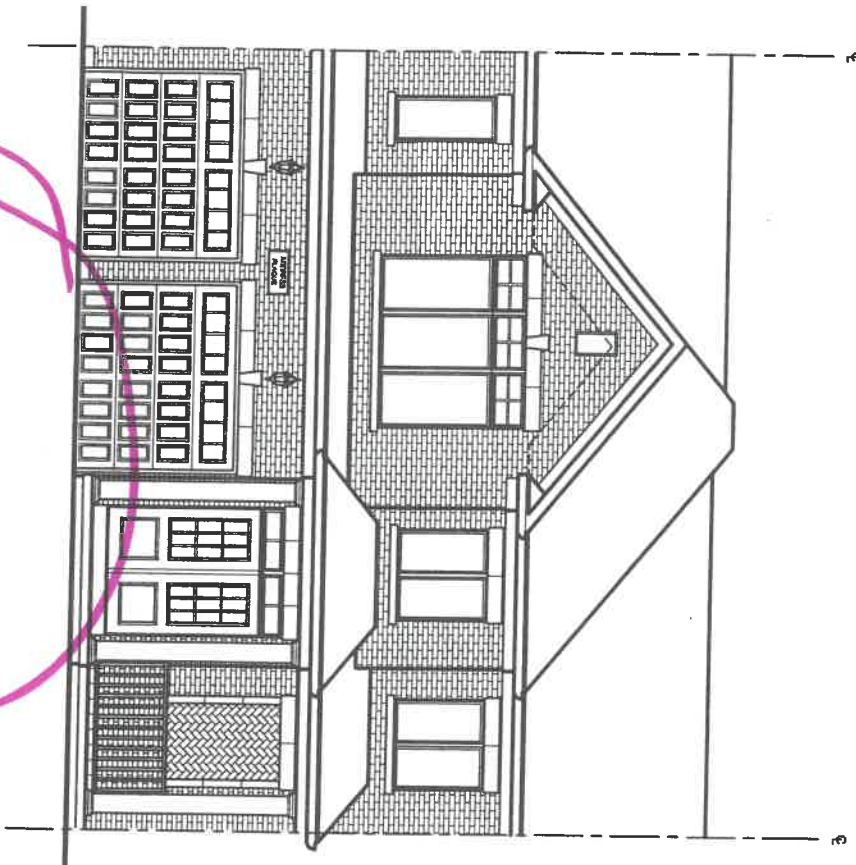
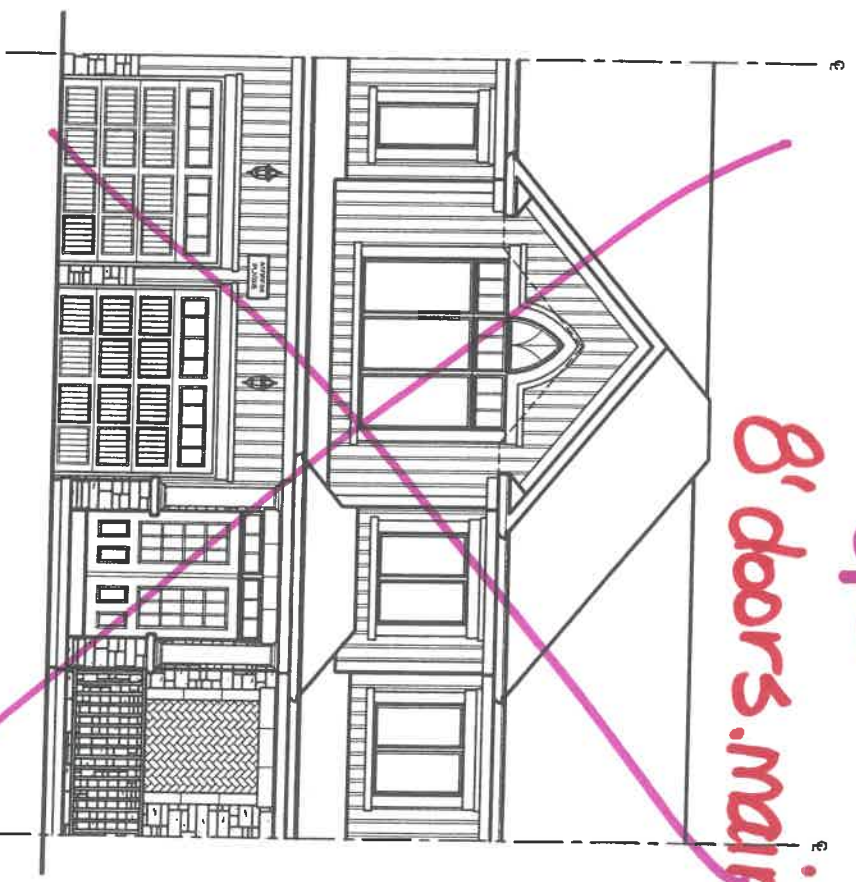


Site
copy



FRONT ELEVATION 'A'



FRONT ELEVATION 'B'

8' doors main

3pc

144-3
Elev A

Drawing List:

TH-3

- A0 TITLE SHEET
- A1 BASEMENT FLOOR ELEV. 'A' & 'B'
- A2 GROUND FLOOR ELEV. 'A'
- A3 SECOND FLOOR ELEV. 'A'
- A4 PARTIAL SECOND FLOOR ELEV 'B'
- A5 PARTIAL GROUND FLOOR ELEV 'B'
- A6 FRONT ELEVATION 'A'
- A7 REAR ELEVATION 'A' & 'B'
- A8 FRONT ELEVATION 'B'
- A9 PARTIAL BASEMENT FLOOR LOB CONDITION ELEV. 'A' & 'B'
- A10 PARTIAL GROUND FLOOR LOB CONDITION ELEV. 'A' & 'B'
- D1 REAR ELEVATION 'A' & 'B' LOB CONDITION
- D2 CONSTRUCTION NOTES
- D3 CONSTRUCTION NOTES
- D4-D11 CONSTRUCTION DETAILS

Areas:

	ELEVATION 'A'		ELEVATION 'B'	
	SF	SM	SF	SM
GROUND FLOOR	756.8	70.3	756.8	70.3
SECOND FLOOR	1093.0	101.5	1087.3	101.0
SECOND FLOOR OTB	(29.9)	(2.8)	(29.9)	(2.8)
TOTAL AREA	1819.9	169.1	1814.2	168.5
COVERAGE INC PORCH	1237.2	114.9	1237.2	114.9
COVERAGE NOT INC PORCH	1151.8	107.0	1151.5	107.0

ALL ELECTRICAL WIRING MUST BE INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY. SEPARATE INSPECTION APPLICATIONS (PERMITS) MUST BE FILED. WE RECOMMEND YOU USE A QUALIFIED ELECTRICAL CONTRACTOR. FOR MORE INFORMATION PLEASE CALL:



1-877-ESA-SAFE
OR VISIT
WWW.ESA-SAFE.COM

Zancor Homes

Wasaga Townhomes

A copy of the building permit and reviewed permit drawings and documents must be made available on site for use by the various Inspectors assigned to your project.

Any proposed changes to the reviewed permit drawings or documents must be approved by the Building Department prior to making the changes.

APPLICANT'S COPY
TOWN OF WASAGA BEACH
BUILDING & PLUMBING DEPT.

Reviewed By *[Signature]*
FOR THE CITY BUILDING OFFICIAL
MUST COMPLY WITH ONTARIO BUILDING CODE
DATE *Aug 15/17*
BUILDING PERMIT # _____

I, NELSON CUNHA DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD./UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 21032
FIRM BCIN: 26995
DATE: July 13, 2017

SIGNATURE: *[Signature]*

Client: Zancor Homes
Location: Wasaga Beach
Project: Wasaga Townhomes
Marketing name: _____

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	12/04/17	SP	NC	5	ISSUED FOR FINAL	2017/13	HAZ	NC
2	REVISED PER CLIENT COMMENTS	2017/06/16	SP	NC					
3	REVISED PER FLOOR/TRUSS COORD	2017/07/06	HAZ	NC					
4	REVISED AS PER ENG COMMENTS	2017/07/13	HAZ	NC					

PN design
Imagine • Inspire • Create



model: TH-3
scale: 3/16" = 1'0"
project #: 16058

pages

A0

1443



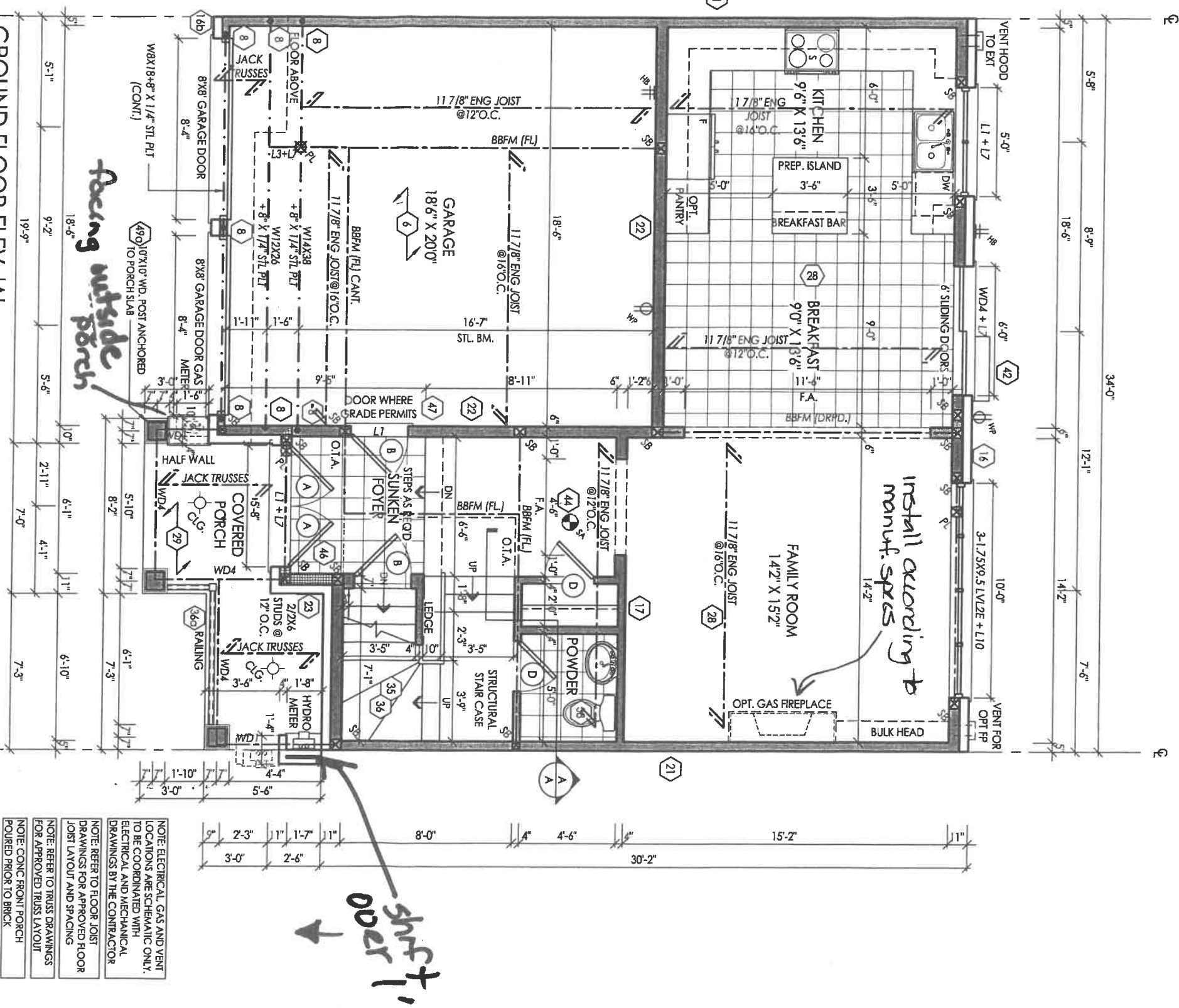
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scale	3/16" = 1'0"
project #	1 6058
page	A1

I, NELSON CUNHA DECLARE THAT I HAVE REVIEWED AND TAKEN
DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF
OF RM DESIGN LTD UNDER DIVISION C/PART 3 SUBSECTION 3.2.4
OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS
REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: _____
FIRM BCIN: _____
DATE: _____

21032
28995
July 13, 2017

SIGNATURE: _____



GROUND FLOOR ELEV. 'A'

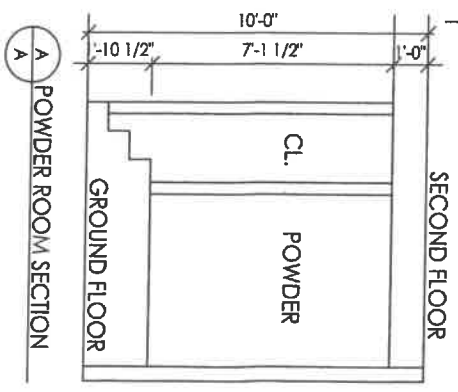
Reviewed By: *[Signature]*
DATE: *Aug 15/17*
BUILDING DEPARTMENT
MUST COMPLY WITH ONTARIO BUILDING CODE



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QUALIFIED DESIGNER BCIN: 21032
FIRM BCIN: 26995
DATE: July 13, 2017
SIGNATURE: *[Signature]*

Client				location					
Zancor Homes				Wasaga Beach					
project:				marketing name					
Wasaga Townhomes									
#	revisions	date	dwg	chk	#	revisions	date	dwg	chk
1	ISSUED FOR CLIENT REVIEW	12/01/17	SP	NC	5	ISSUED FOR FINAL	2017/03	HAZ	NC
2	REVISED PER CLIENT COMMENTS	2017/04/16	SP	NC					
3.	REVISED PER FLOOR/TRUSS COORD	2017/07/06	HAZ	NC					
4.	REVISED AS PER ENG COMMENTS	2017/07/13	HAZ	NC					



POWDER ROOM SECTION

NOTE: ELECTRICAL, GAS AND VENT LOCATIONS ARE SCHEMATIC ONLY. TO BE COORDINATED WITH ELECTRICAL AND MECHANICAL DRAWINGS BY THE CONTRACTOR

NOTE: REFER TO FLOOR JOIST DRAWINGS FOR APPROVED FLOOR JOIST LAYOUT AND SPACING

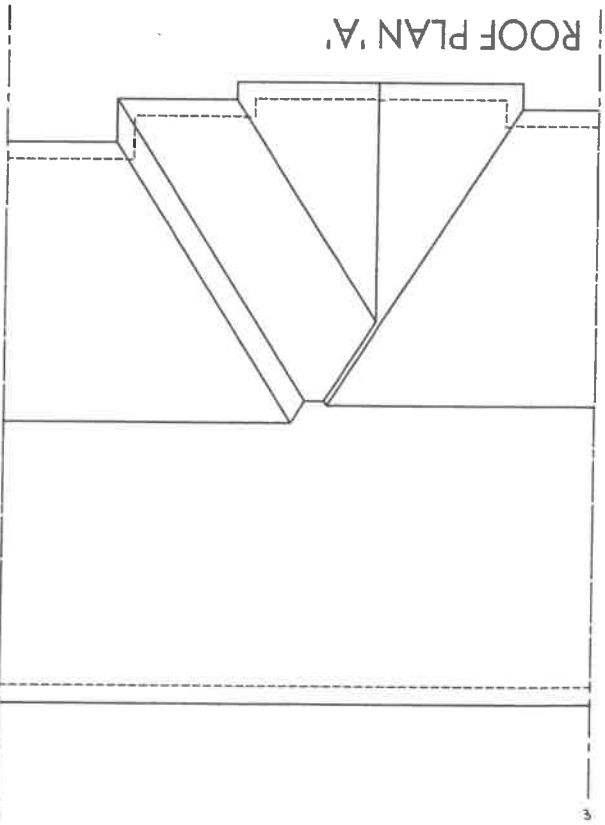
NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

NOTE: CONC FRONT PORCH POURED PRIOR TO BRICK





3A



NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" OC WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER. AT EACH CROSS POINT, POSTS LONGER THAN 6' TO BE LATERALLY BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

NOTE: REFER TO STREET-SCAPES FOR POSSIBLE GRADING CONDITIONS

12"x22" PRECAST CONC. DETAIL (TYP.)
CATHEDRAL CEILING BEYOND (10:12 SLOPE)
TOP OF PLATE
1"x6" DECOR FRIEZE BOARD (TYP.)
PRECAST CONC. HEADER (TYP.)

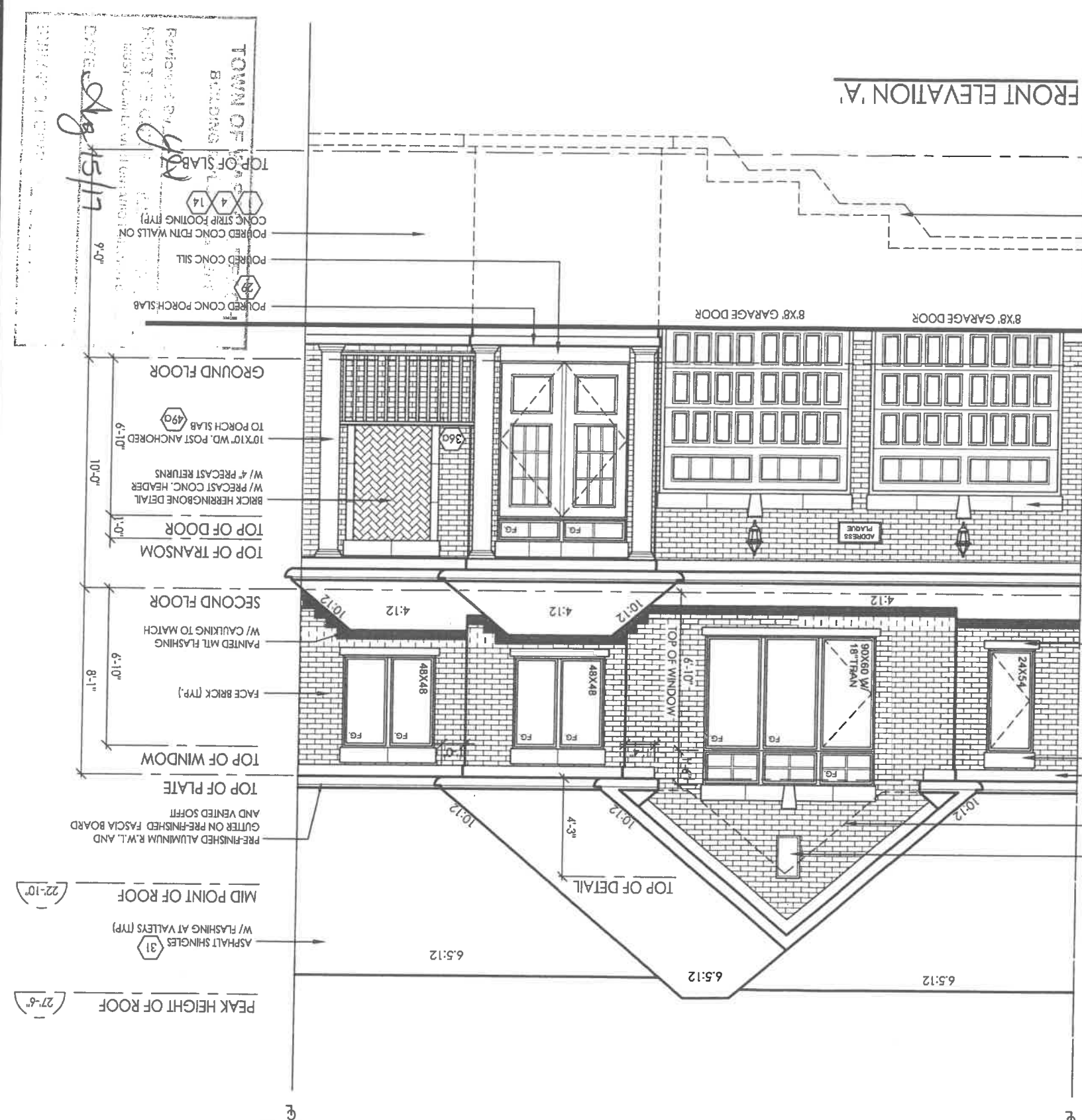
PRECAST CONC. SILL (TYP.)
SECOND FLOOR
U/S OF GARAGE / PORCH SOFFIT
W/ CENTER KEYSTONE
9'-1"

FIN. GRADE
GROUND FLOOR
U/S OF FOOTING
4'-0"

8'x8' GARAGE DOOR
8'x8' GARAGE DOOR

STEPPED FOOTING (TYP.)
3

FRONT ELEVATION 'A'



GROSS GLAZING AREA - EL. 'A'			
TOTAL PERIPHERAL WALL AREA	2621.43	SF	243.53 m²
FRONT GLAZING AREA	89.75	SF	8.34 m²
LEFT SIDE GLAZING AREA	0.0	SF	0.00 m²
RIGHT SIDE GLAZING AREA	0.0	SF	0.00 m²
REAR GLAZING AREA	191.55	SF	17.79 m²
TOTAL GLAZING AREA	281.30	SF	26.13 m²
TOTAL GLAZING PERCENTAGE	10.73	%	

GROSS GLAZING AREA - EL. 'A' L.O.B.			
TOTAL PERIPHERAL WALL AREA	2791.12	SF	259.30 m²
FRONT GLAZING AREA	89.75	SF	8.34 m²
LEFT SIDE GLAZING AREA	0.0	SF	0.00 m²
RIGHT SIDE GLAZING AREA	0.0	SF	0.00 m²
REAR GLAZING AREA	222.39	SF	20.66 m²
TOTAL GLAZING AREA	312.14	SF	29.00 m²
TOTAL GLAZING PERCENTAGE	11.18	%	

PEAK HEIGHT OF ROOF
27'-6"
MID POINT OF ROOF
22'-10"
ASPHALT SHINGLES
31
W/ FLASHING AT VALLEYS (TYP.)

PRE-FINISHED ALUMINUM R.W.L. AND GUTTER ON PRE-FINISHED FASCIA BOARD AND VENTED SOFFIT
TOP OF PLATE
FACE BRICK (TYP.)
PAINTED MTL FLASHING
W/ CAULKING TO MATCH
SECOND FLOOR
TOP OF TRANSOM
1'-0"
BRICK HERRINGBONE DETAIL
W/ PRECAST CONC. HEADER
W/ 4" PRECAST RETURNS
10'-10"
TO PORCH SLAB
490
6'-10"

GROUND FLOOR
TOP OF SLAB
POURED CONC PORCH SLAB
POURED CONC SILL
POURED CONC FDN WALLS ON CONCRETE FOOTING (TYP.)
14
4

TOWN OF WASAGA
BUILDING DEPARTMENT
RECEIVED
2017 JUL 13 PM 1:00
DATE: 2017 JUL 13 PM 1:00

21032
26995
JULY 13, 2017

21032
26995
JULY 13, 2017

21032
26995
JULY 13, 2017

21032
26995
JULY 13, 2017

client			
Zancor Homes			
project			
Wasaga Townhomes			
location			
Wasaga Beach			
marking name			
model			
TH-3			
scale			
3/16" = 1'0"			
project #			
16058			



project # 16058

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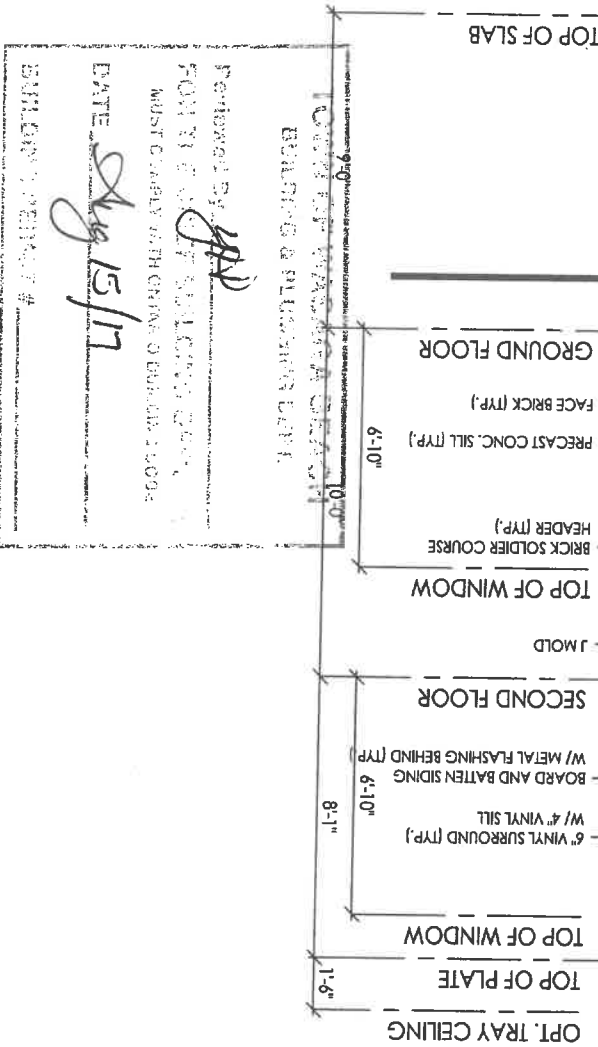
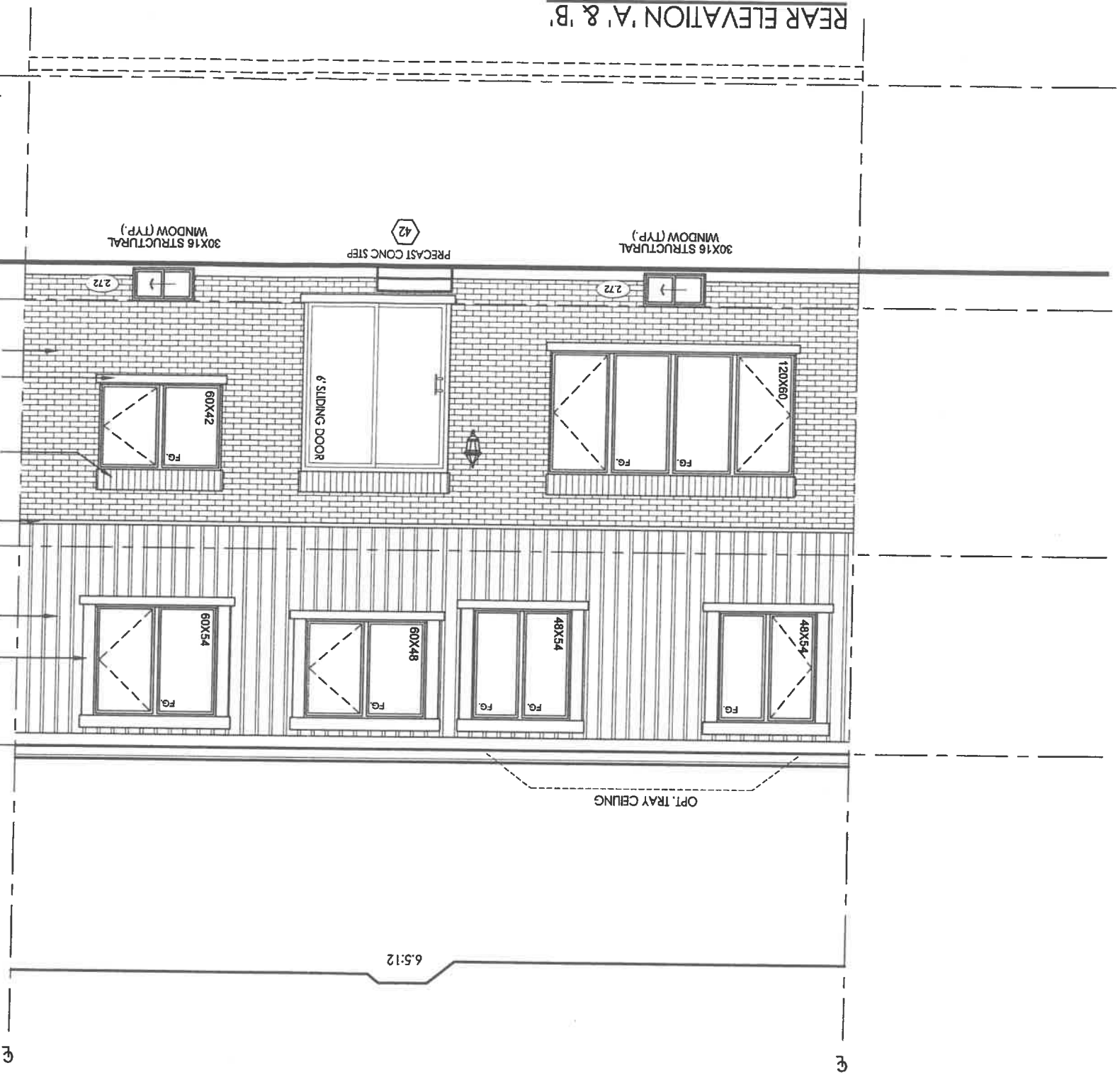
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JULY 13, 2017

21032
26995
JULY 13, 2017



Performed by *[Signature]*
FOR THE DESIGNER
MUST COMPLY WITH CHINA O BUILDING 10096
DATE *Aug 15/17*
BUILDING PERMIT #

I, NELSON CUNHA DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF FN DESIGN LTD UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.
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FIRM BCIN: 26995
DATE: July 13, 2017
SIGNATURE: *[Signature]*

client				location			
Zancor Homes				Wasaga Beach			
project				marketing name			
Wasaga Townhomes							
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1	ISSUED FOR CLIENT REVIEW	12/04/17	SP	NC			
2	REVISED PER CLIENT COMMENTS	2017/06/16	SP	NC			
4	REVISED AS PER ENG COMMENTS	2017/07/13	HAZ	NC			
5	ISSUED FOR FINAL	2017/07/13	HAZ	NC			

